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BY:



Board of Adjustment Application for Zoning Variance

The Board of Adjustment is a local body consisting of volunteers appointed by the Mayor. The Board of Adjustment is authorized by Missouri State Statutes to hear two types of cases relating to the administration and enforcement of zoning regulations: (1) Appeals from the interpretation of administrative officials in the enforcement of the zoning regulations; and (2) Applications for variances from strict application of zoning regulations. Generally, the Board of Adjustment determines whether an applicant has demonstrated sufficient "practical difficulties or unnecessary hardship" to warrant variation from application of a particular zoning regulation.

Check (✓) the type of variance for which you are applying:

Area (bulk) variance: A request to allow deviation from the dimensional (i.e. height, density, setbacks, greenspace) requirements of a zoning district.

Appeal of an administrative determination

STATE OF MISSOURI }
CITY OF BRENTWOOD }
Petition for Appeal from Zoning Regulations }

Board of Adjustment Case: # 21-01
Hearing Date: 1-28-21

I. APPLICANT INFORMATION

Owner(s) of record of the hereinafter described property according to St. Louis County Assessor's
Record: Carmen Valero
Address: 9101 Moritz
City: Brentwood State: MO Zip: 63144
Tel.: _____ Alt. Tel.: _____ Fax: _____

Petitioner, if other than owner(s): Tom Magee 'Bragees LLC'
Address: 8734 Bridgeport
City: Brentwood State: MO Zip: 63144
Tel.: 314 971 3808 Alt. Tel.: _____ Fax: _____
Legal Interest: Contractor

- Attach additional sheets as necessary for other Parties of Interest (Architect, Engineer, etc.)

II. PROPERTY INFORMATION

Project Address: 9101 Moritz
Tax ID/ Locator Number: 20K120380
Acreage: _____ (to the nearest tenth of an acre)
Current Zoning District: B
Legal Description of Property: 9101 Moritz Ave

Board of Adjustment

Supplemental Application Information for Zoning Variance

Please complete the sections below as applicable:

A. Setbacks/ Height:

The Petitioner(s) request the following setback(s):

Front Yard: N/A
Side Yard: 11 FT
Rear Yard: N/A
Height: N/A

The city of Brentwood Zoning Ordinance regulations require the following setback(s) for this site:

Front Yard: N/A
Side Yard: 30 FT
Rear Yard: N/A
Height: N/A

The following information correctly presents the true conditions and also describes the practical difficulties and unnecessary hardships warranting action by the Board. Limited side yard due to street

B. Signage:

Number and size of allowable attached business signs by Ordinance: N/A

Number and size of freestanding business signs by Ordinance: N/A

The Petitioner further represents that the increased sign size or height would not be injurious to the neighborhood, or otherwise be detrimental to the public welfare for the following reasons: N/A

III. NATURE OF REQUEST FOR VARIANCE

Unique physical characteristics of the property that prevent compliance with code (e.g. size, slope, etc.):

Corner lot sideyard is limited by city street

Description of the necessity of the proposed improvement: provide shade from sun

Section of Zoning Code from which the variance is sought: distance to build off of the street

property has existing garage closer than patio cover

Basis for appeal of the above action:

garage sits closer than patio cover

Specify the action to which the appeal is sought: N/A

Description of the effect or impact on neighboring properties: N/A

Statement of any other hardship or information for this appeal:

IV. COMPLIANCE

Is the property in compliance with all previous conditions of approval of all applicable Ordinance requirements?

Yes [] No. If no, please explain:

Is the property in compliance with all Zoning, Subdivision, and Code requirements?

Yes [] No. If no, please explain:

V. AFFIDAVIT OF COMPLETENESS AND ACCURACY

STATEMENT OF COMPLETENESS AND ACCURACY

I hereby certify all property owners have full knowledge the property they own is the subject of this application. I hereby certify that all owners and petitioners have been provided a complete copy of all material, attachments and documents submitted to the city of Brentwood relating to this application. I further certify the statements or information made in any paper or plans submitted herewith are true and correct to the best of my knowledge. I understand this application, related application material and all attachments become official records of the city of Brentwood, Missouri and will not be returned.

Check (✓) one: [] I am the property owner [] I am the contract purchaser
 I am the duly appointed agent of the petitioner

Tom Magee
Name (printed)

[Signature]
Signature

12/29/2020
Date

REQUIRED APPLICATION MATERIALS

The filing deadline for the Board of Adjustment is thirty (30) days prior to the regular meeting date.

Place a check mark on the line to indicate inclusion of the item with the application submittal.

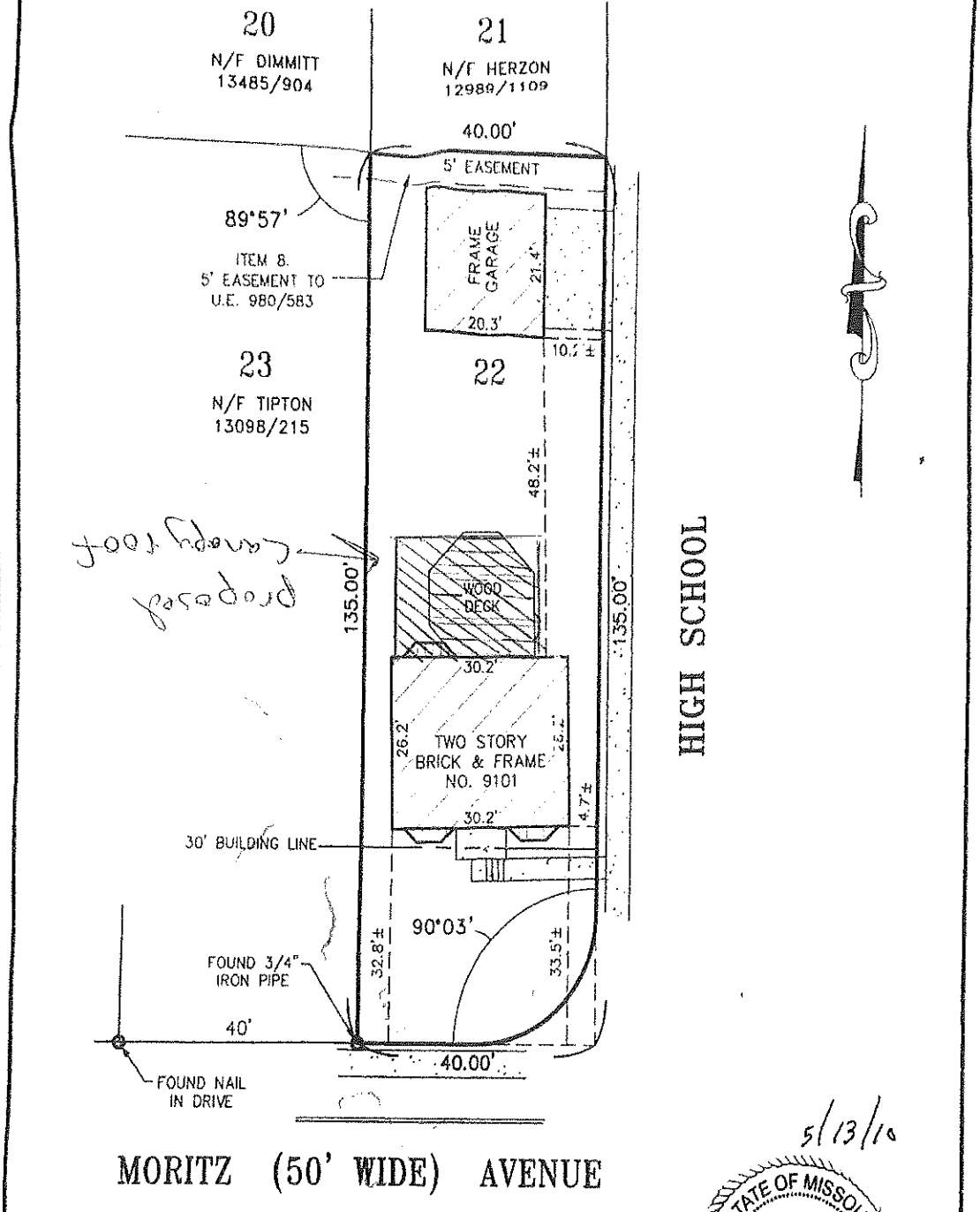
_____ Application fee of \$100

_____ 10 copies of the official application form

_____ 10 copies of a site plan conforming to site plan requirements (see site plan review application) and indicating the necessary variances.

For additional information, please contact the Director of Planning & Development at (314) 963-8629.

"SURVEYOR'S REAL PROPERTY REPORT"
 (This does not constitute a Boundary Survey)

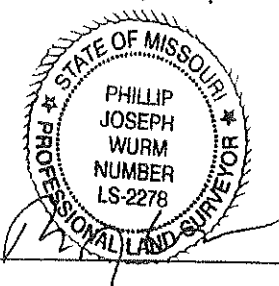


*foot driveway
 proposed*

HIGH SCHOOL

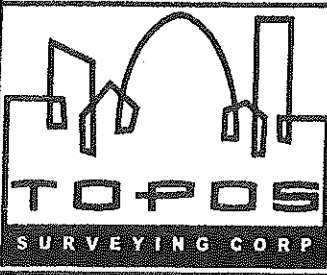
5/13/10

MORITZ (50' WIDE) AVENUE



Easements:
 Item 8. Easement granted to Union Electric 980/583 -- shown hereon.

This is to certify that at the request of Investors Title - Des Peres we have, on the 12th day of May, 2010, made a Surveyor's Real Property Report on Lot 22 in Block 11 of Parkridge Subdivision, according to the plat thereof recorded in Plat Book 28 Page 11 of St. Louis County Records in St. Louis County, Missouri, and that the result of said Surveyor's Real Property Report is represented upon this plat. The bearing reference system, building lines and easements unless referenced are taken from the record plat.



This Surveyor's Real Property Report was conducted by the land surveyor or under his immediate supervision. The accompanying drawing is a representation of the conditions that were found at the time of the inspection and that the document does not constitute a boundary survey and is subject to any inaccuracies that a subsequent boundary survey may disclose. No property corners were set, and the information shown on this drawing shall not be used to establish any fence, structure or other improvements. The linear and angular values shown on this drawing are based on record or deeded information and have not been verified. This firm is not extending a warranty to the present or future owners or occupants. Walls and fences along the property line traditionally are not shown. Unless otherwise noted, building lines and easements, if shown, were deduced in said plat book and page(s). Unless otherwise noted positional tolerance of major improvements is 1' ±.

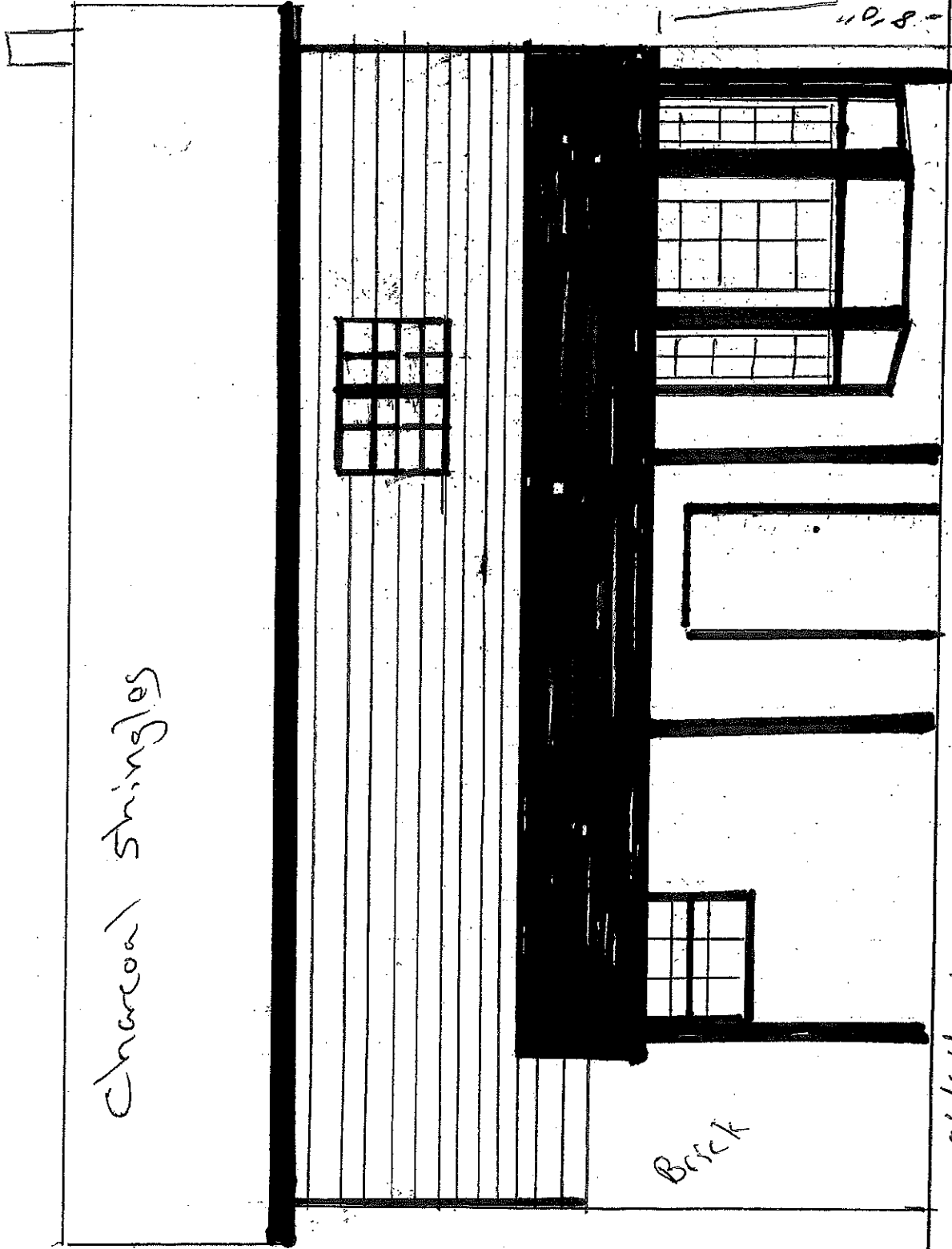
**790 ST. FRANCOIS STREET
 FLORISSANT, MISSOURI 63031**
 Phone (314) 838-5806
 Fax (314) 838-8141

Revision: _____
 Scale: 1" = 20'
 Field work: VF Drawn by: AJ
 Order No. **0510-0107**

Charcoal shingles

almond siding

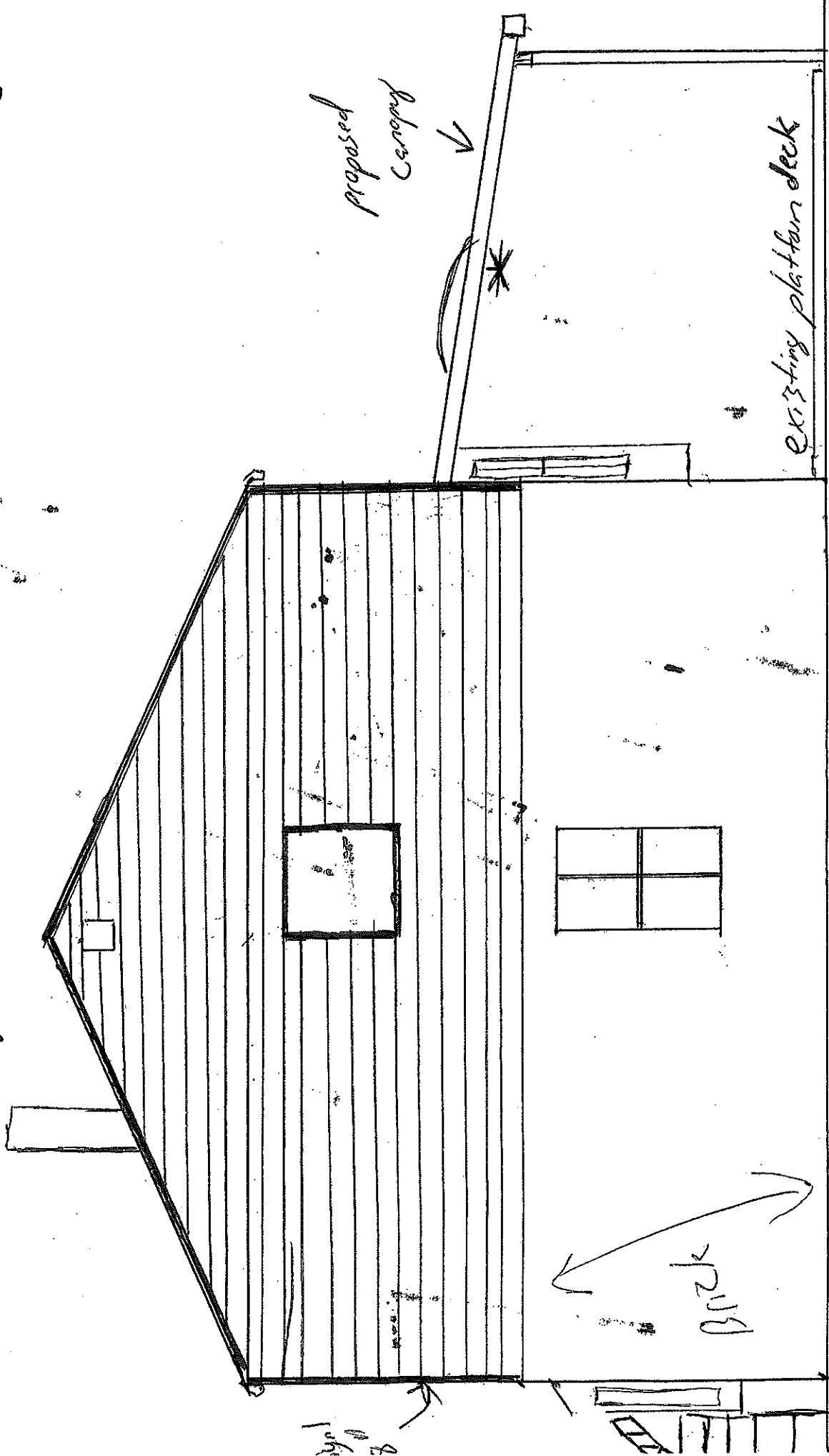
Charcoal roll roof
2 1/2 pitch



Back

6x6 hand post
pole wrap white

W
S+N
E



proposed
canopy

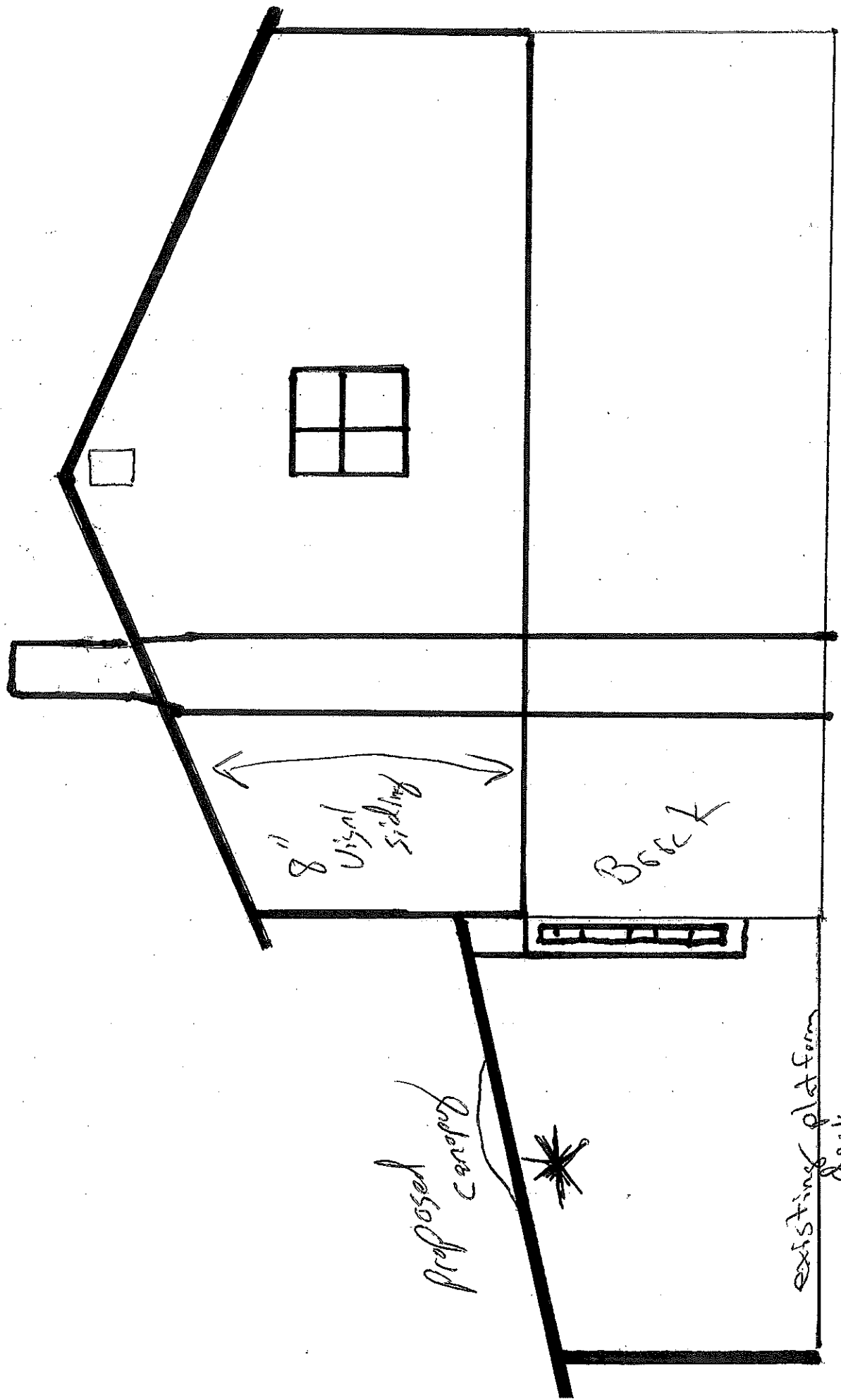
existing platform deck

Back

Facing West

1/4" = 1'0"

E
N + S
W



4563
Looking East

existing platform
deck

10.75' x 11'