



# PLANNING DESIGN STUDIO

Planning Urban Design Landscape Architecture

FSA, LLC for Navigate Building Solutions  
122090 Big Bend Road  
St. Louis, Missouri, 63122

Date: January 26, 2021

To: Lisa Koerkenmeier, AICP  
Director of Planning and Development/Assistant City Administrator  
City of Brentwood  
2348 Brentwood Boulevard  
Brentwood, MO. 63144  
(314) 963-8629

From: L. Andrew Franke, ALSA, Principal

Location: 8419 Manchester Road, Brentwood, MO

Referenced Subject: Landscape Plan Review Initial Comments on:  
Site and Landscape Plans dated January 19, 2021.

We have completed our follow up review of the site and landscape site plan prepared for the Navigate Building Solutions office building project site by FSA, LLC. Responses to our original comments are indicated in **bold**.

## Ordinance Items:

1. A deciduous hardwood street tree should be added to meet the requirement of ordinance 400.1730.A.2 which states that the entire frontage of a parking area adjacent to a public street should be screened by deciduous hardwood trees at no more than 35' on center parallel to the right of way. The site plan shows two trees provided by MODOT along the 144-foot parking area frontage along Manchester Road. They are placed 35' on center, leaving a 70 foot stretch of parking lot frontage without any screening trees. An additional tree should be placed on the north side of the sidewalk between the eastern most tree provided by MODOT and the edge of the parking area. **An additional tree has been provided.**
2. The site pan should specify the height of the proposed cedar site proof fence along the north and northeast property lines. Per ordinance 400.1375.F.4.d, properties zoned as MC (general commercial) that have a side or rear lot line that coincides with a residential zoning district should include a masonry wall or solid fence at least six feet (but not more than eight feet) in height, placed within two feet of the property line. The site plan shows a sight-proof fence parallel to the property line but does not specify the fence height. **Six-foot fence height has been specified.**
3. A minimum of ten square feet of interior landscaped area shall be provided within the parking lot for each parking space per ordinance 400.1730.A.4. The 39 spaces shown in the site plan require 390 square feet of interior landscaped area, in addition to any front, side or rear yard landscaping. The two interior islands as shown in the site plan are 185 square

feet each, totaling 370 square feet of interior landscaped area. Since the petitioner is exceeding the required number of parking spaces, the City may want to request an additional landscape island be provided in the center of the row of parking spaces closest to Manchester Road to satisfy this requirement. **An island has been provided to satisfy this requirement.**

4. According to ordinance 400.1730.A.5 there shall be a minimum of two trees, within and up to, every 100 linear feet of parking for each parking row. The northmost and southmost parking rows are each 144 feet and should contain one or more interior landscaped islands to include a minimum of two deciduous hardwood street trees per row. Since the petitioner is exceeding the required number of parking spaces, the City may want to request an additional landscape island be provided on each side of the proposed ADA parking spaces on the north edge of the parking lot. **In lieu of removing two parking spaces near the front of the building, the petitioner has agreed to expand the eastern planting island to provide additional landscape island area.**
5. Irrigation notes have been provided on the landscape plan. Petitioner should confirm all landscape areas, lawn areas, and planting islands in parking lots will be irrigated with the system described in the irrigation notes. **Petitioner confirmed all landscape areas except non-planted gravel areas will be irrigated.**
6. Section 400.1375.G.2.h.2 states trash dumpsters shall be screened from ground level view. Screening material shall consist of a masonry wall, sight-proof fencing of aluminum, steel, vinyl, dense landscaping, or any other such material that is found compatible and approved as part of the site plan approval process. The site plan should provide details regarding the proposed trash enclosure and sight-proof fence. **Petitioner has indicated only trash cans will be used for this development so a screened dumpster enclosure will not be required. The revised site plan shows a proposed sight-proof screen around the trash can storage area.**
7. Per the MC District ordinance 400.1380, no building or structure shall be not less than 25 feet from the right of way of said street. The northwest side of the proposed building is 10 feet from Helen Avenue. **Petitioner is seeking variance.**
8. Section 400.1375.G.2.h.2 states mechanical equipment, whether ground level of roof top. Shall be screened from ground level view. The transformer located on the northwest corner of the site should be screen per the ordinance. **Petitioner still needs to provide some type of screening for the proposed transformer.**
9. Per the MC Commercial District ordinance 400.1375.F.4.d, if any property adjacent to the site is zoned to an "A", "B", "AR" or, "MR" zoning classification, there shall be a twenty-five (25) foot rear yard and a sight proof fence. The property adjacent to the site to the north is zoned as "B" (single family residential). The site design has a 19-foot rear yard between the proposed building and the north property line abutting 2646 Helen Avenue. **Petitioner is seeking variance.**

#### ADA Compliance Items:

1. The design provides no ADA accessible entrance to the building from the adjacent sidewalks.
  - a. There are five stairs between the main entry walkway on the south side of the building and the sidewalk along Helen Avenue on the west side of the property. For ADA compliance, a ramp should be provided that meets ADA guidelines described

below. **Petitioner proposes to use walkway at rear of building for ADA access. City Building Official is still reviewing this proposal.**

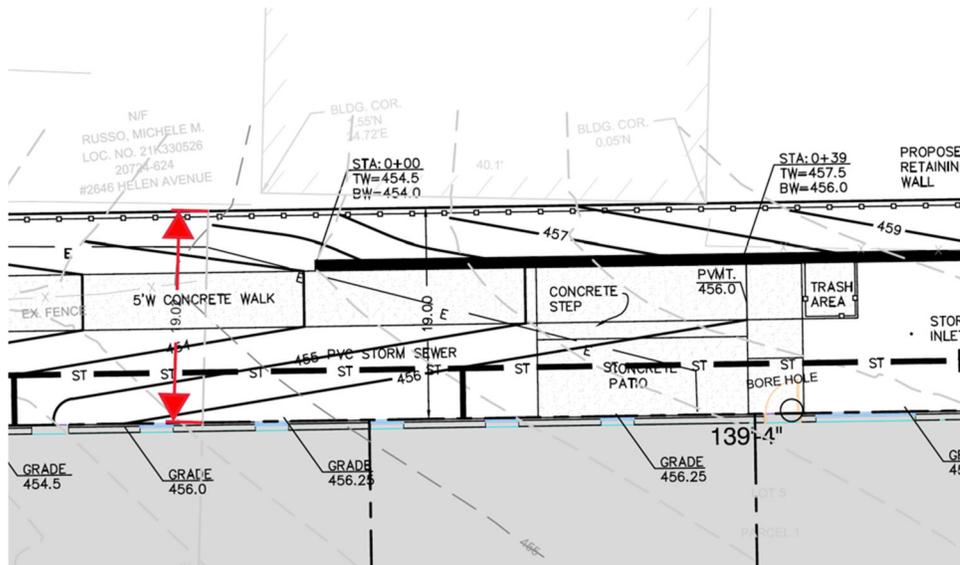
- b. The main entry walkway on the south side of the building has a slope of 7.14%. For ADA compliance, walkways must be considered ramps if their slope is greater than 5.0%. Ramps in compliance with ADA guidelines should have a 5' x 5' landing located every 30,' with no segment of the ramp exceeding a slope of 8.33% or having a rise greater than 30". Handrails are required for ramp segments greater than 72" in length or with a rise greater than 6". **ADA access will not be proved along this sidewalk per comment above.**
- c. The site plan should provide more detail about how the concrete vertical curb should be designed to become flush with the parking lot and the concrete walk at the ADA parking spaces near the building entrance. If a ramp is needed it should be shown in the site plan. **Asphalt in parking lot will be ramped up to provide flush transition.**

General Site Plan Items:

1. The site plan is required to indicate the location of all buildings abutting subject property or within 300 feet from the perimeter of the site. **Provided.**
2. The building height and dimensions should be indicated on the site plan. **Height not provided, but not necessary.**
3. The site plan should show the distance from the property line and dimensions of the trash area. **Provided.**
4. The number of parking stalls in each row of parking spaces should be indicated on the site plan. **Provided.**
5. The easement line type in the legend should be consistent with the line type shown in the site plan. **Provided.**
6. The property boundary line type should be shown in the legend. **Clearly labeled on plan.**
7. The existing 24" tree at the west parking area entrance should be labeled as "to be removed" and the existing 48" tree in the northwest corner of the site should be labeled as "to be removed" or "to be preserved." **Revised.**
8. The parking stall details on the site plan sheet should match the parking stall dimensions shown in the site plan. **Revised.**
9. The fence line type should be shown on the legend. **Clearly labeled on plan.**
10. Existing and proposed zoning should be noted on the site plan. Parcel 1 is zoned as single family residential in the 2007 Brentwood Zoning District Map. **Proposed zoning not indicated but understood to be "MC".**
11. The existing fence shown overlapping the sidewalk to the north of the building and on the west side of the building should be labeled as "to be removed." **Removed from plan.**
12. Existing concrete walls overlapping the proposed parking area should be labeled as "to be removed." **Removed from plan.**

### Other Related Items:

1. Proposed grading begins extremely close to the existing building to the north of the site (2646 Helen Avenue). See next page. **No additional action taken.**



2. With no ordinance in place stipulating light levels in parking lots, the Illuminating Engineering Society of North America (IES) guidelines are used to provide guidance on the appropriate levels of lighting for parking lots. The IES guidelines state that lighting for office parking areas should have an average of 2.4 footcandles and a minimum of 0.6 footcandles in any location, with a uniformity ratio of 4:1 (average:minimum). The lighting plan shows six feet along the north edge of the parking area and five feet along the south edge of the parking area to be illuminated below 0.6 footcandles, as low as 0.1 footcandles. The average illumination of the parking area is not specified on the lighting plan. **Revised plans show some light spill over that extends as follows: .5 footcandles, 4 feet onto property, .1 footcandles, 11 feet, 6 inches onto property. Given that the light levels are below 1 footcandle and the adjacent use is not residential, it is our opinion this is acceptable.**
3. Extended 2'-6" concrete light pole bases are not required for light poles located within curbed parking lot landscape islands. **Informational. No action required.**
4. Curb stops need to be provided for the ADA parking spaces to prevent sign posts from being hit by cars. **Provided.**
5. Indicated location (ground mounted or roof installed) of Air Conditioning/HVAC unit. Unit will need to be screened per ordinance requirements. **Roof parapets provided to screen all roof mounted equipment.**
6. The location of the parking lot entrance off Helen Avenue has sight triangle issues with the proposed monument sign. The petitioner should consider moving the entrance north to the next drive aisle to eliminate the sign triangle obstructions and reduce the potential for accidents from traffic turning onto Helen Avenue from westbound Manchester Road traffic. **Proposed sign has been relocated out of sight triangle area. All plant material within sight triangle is indicated as being maintained to a maximum of 30-inch height. Lee Cannon should confirm the sight triangle requirements have been met per his comments at January 13, 2021 Planning & Zoning Meeting.**

7. From a broad planning perspective, one of the overall goals of the MC District redevelopment initiative is to encourage redevelopment along the Manchester Road Corridor to an arrangement which places buildings closer to the road with parking behind the building. The City should consider encouraging the petitioner to pursue this arrangement when resubmitting their development proposal. **No action required to be taken.**

If you have any additional questions, or would like to discuss these items further, please feel free to contact us.



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